



Wright Marshall  
Estate Agents

8 SANER DRIVE, WINNINGTON VILLAGE,  
NORTHWICH CW8 4ZF

£199,950



Property hunters..... Stop, Look and Listen! Here we have a three bedroomed mews property built by Taylor Wimpey on the popular Winnington Village development. The accommodation includes: hallway, lounge, kitchen diner and WC to the ground floor and three bedrooms, en suite and bathroom to the first floor. Externally there is an enclosed rear garden and allocated parking. Call us on 01606 41318 to book your viewing!

THREE BEDROOM, TERRACED property, developed by Taylor Wimpey and located in a desirable residential development in Winnington Village. The accommodation includes: hallway, lounge, kitchen diner and WC to the ground floor and three bedrooms, en suite and bathroom to the first floor. Externally there is an enclosed rear garden and allocated parking. Call us on 01606 41318 to book your viewing!

### Hallway

Accessed via double glazed entrance door. Radiator. Stairs to first floor. Door to Lounge.

### Lounge

14'0 x 12'3 (4.27m x 3.73m)

Two double glazed windows to the front elevation. Radiator. Door to Kitchen.



### Kitchen Diner

15'5 max x 13'2 (4.70m max x 4.01m)

Fitted with a range of wall, drawer and base units with work surfaces above. Inset stainless steel sink and drainer with mixer tap. Integrated Dishwasher, Fridge Freezer and Washing Machine. Inset electric oven with four ring gas hob and extractor fan above. Inset spotlights. Radiator. Double glazed french doors to the rear elevation. Door to Under stairs storage cupboard with space for Tumble Dryer. Door to WC.



### WC

3'5 x 3'4 (1.04m x 1.02m)

Low level WC and wash hand basin. Radiator



### Landing

Doors to all bedrooms and bathroom. Radiator. Loft access.



### Master Bedroom

12'4 max x 11'2 (3.76m max x 3.40m)

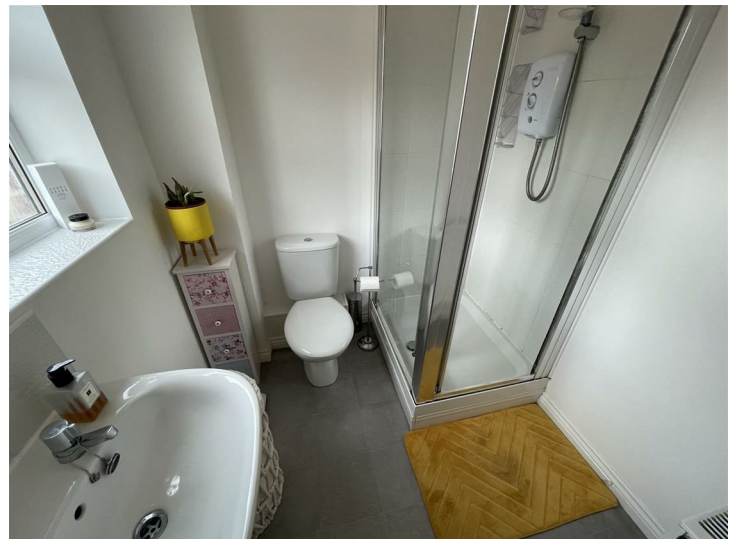
Double glazed window to the front elevation. Radiator. Door to Ensuite.



### Ensuite

5'8 x 5'6 (1.73m x 1.68m)

Low level WC, wash hand basin and shower cubicle. Double glazed window to front elevation. Radiator,



### Bedroom Two

10'8 x 8'7 (3.25m x 2.62m)

Double glazed window to the rear elevation. Radiator.



### Bedroom Three

11'7 x 6'6 (3.53m x 1.98m)

Double glazed window to the rear elevation. Radiator.



### Bathroom

6'6 x 5'5 (1.98m x 1.65m)

Low level WC, wash hand basin and panelled bath with shower above. Radiator.



### Externally

To the rear elevation there is an enclosed garden with paved patio leading to a lawned garden. Access gate to the parking area.



### Parking

There is one allocated parking space and numerous visitor parking spaces available.

### Tenure

Leasehold - Please contact the office for more information.



| Energy Efficiency Rating                    |  | Current                 | Potential |
|---|--|-------------------------|-----------|
| Very energy efficient - lower running costs |  |                         |           |
| (92 plus) A                                 |  |                         | 94        |
| (81-91) B                                   |  | 80                      |           |
| (69-80) C                                   |  |                         |           |
| (55-68) D                                   |  |                         |           |
| (39-54) E                                   |  |                         |           |
| (21-38) F                                   |  |                         |           |
| (1-20) G                                    |  |                         |           |
| Not energy efficient - higher running costs |  |                         |           |
| England & Wales                             |  | EU Directive 2002/91/EC |           |

| Environmental Impact (CO <sub>2</sub> ) Rating                  |  | Current                 | Potential |
|---|--|-------------------------|-----------|
| Very environmentally friendly - lower CO <sub>2</sub> emissions |  |                         |           |
| (92 plus) A   |  |                         |           |
| (81-91) B   |  |                         |           |
| (69-80) C   |  |                         |           |
| (55-68) D   |  |                         |           |
| (39-54) E   |  |                         |           |
| (21-38) F   |  |                         |           |
| (1-20) G  |  |                         |           |
| Not environmentally friendly - higher CO <sub>2</sub> emissions |  |                         |           |
| England & Wales   |  | EU Directive 2002/91/EC |           |



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Agents Note: Whilst every care has been taken to prepare these sales particulars, they are for guidance purposes only. All measurements are approximate and whilst every care has been taken to ensure their accuracy, they should not be relied upon and potential buyers are advised to recheck the measurements